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Building
Design Guidelines.
Bennett Quarter

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Images courtesy of 101 Residential, Content Living and B1 Homes.





Introduction.

Bennett Quarter is a beautiful estate adjacent to Bennett Brook and Whiteman Park. Residents will benefit from the close proximity of all the amenities the Swan Valley and metropolitan Perth has to offer while still having a gorgeous natural environment on their doorstep.

These Design Guidelines have been created to ensure all homes are built to a high standard and enhance the quality of the estate for the benefit of all residents. This approach protects the investment of homeowners.

By encouraging home design excellence through the use of clever, lot specific building plans and materials, Bennett Quarter will become the premier location in the Swan Valley and a place residents will be truly proud to call home.





Building plan assessment process.

Land purchased at Bennett Quarter is subject to Restrictive Covenants, which together with the Design Guidelines form part of the Contract of Sale. Lot owners are required to submit an A3 copy of building plans in PDF format, including a completed Building Approval Checklist, to Whalan Consulting via email: planassessment@whalans.com.au

Our aim is to ensure plans are assessed within 5 business days.

Your application will be assessed for compliance with the Bennett Quarter Design Guidelines and Restrictive Covenants to ensure that the plans appropriately comply. Approved plans will be stamped and returned to the applicant. If plans are non-compliant, Whalan Consulting will provide a checklist outlining any non-compliance with the Design Guidelines.

- Following approval, the applicant may apply to the City of Swan for a Building Licence.

NOTE: All lots are subject to compliance with The City of Swan Policies, Town Planning Scheme and relevant Design Codes and are subject to interpretation and assessment by others.

- In the unlikely case of a conflict between documents, the existence of any Local Development Plan (LDP) or Regulating Plan will take precedence over the Design Guidelines. In some cases, the Guidelines may specify a higher level of compliance.
- Where definitions are not provided in the Guidelines, the definition in the current Residential Design Codes will apply.

NOTE: Some items within the Restrictive Covenants may not be able to be assessed as part of the Building Plan assessment. Compliance with all the Restrictive Covenants remains the responsibility of the Lot Owner.

Development.

No development is to commence on any lot without the building plans and schedules having been approved in writing as set out above.

Local Precinct Variations.

Some variations to the Building Guidelines may apply to lots in special local precincts. Please refer to your sales documentation for further information.



Design guideline principles.

- Design Element 2: Feature facade material.
- Design Element 2: Elevation feature.
- Design Element 2: Supplementary elevation feature.



FEATURE FACADE MATERIAL
Timber Cladding

FEATURE FACADE MATERIAL
Weatherboard

SUPPLEMENTARY FEATURE
Gablet

ELEVATION FEATURE
Verandah

SUPPLEMENTARY FEATURE
Timber Decking

FEATURE FACADE MATERIAL
Face Bricks

Orientation.



The following guideline applies:

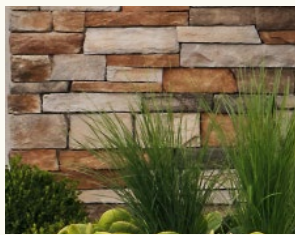
- Dwellings must address the Primary Street in terms of main pedestrian entry.

Primary street elevation.

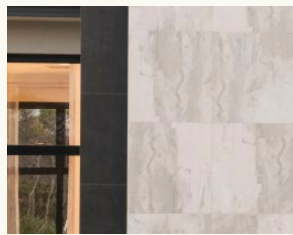


The primary street elevation is the most visible part of a house and it is therefore important that it presents attractively and provides architectural interest. All dwellings must include:

- A habitable room overlooking the Primary Street and / or Public Open Space and incorporate at least one window facing the Primary Street. Windows must be clear glazed and at least 12c high and 1.2m wide. This can be achieved by using single or multiple 12c high or greater windows.
- A Feature facade material (15% of the front facade) in addition to standard face brick or rendered walls. Acceptable materials are; Stone, Ceramic Tiling, Metal Cladding, Timber Cladding or Weatherboard.
- Other materials such as Steel may be considered at the discretion of the Developer.



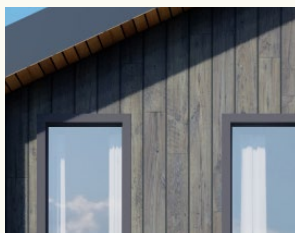
STONE



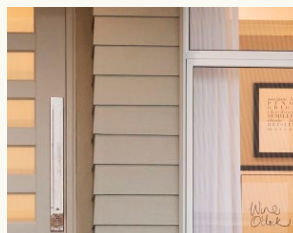
CERAMIC
TILING



METAL
CLADDING



TIMBER
CLADDING



WEATHERBOARD



FACE
BRICKS

- A minimum of 2 Elevation Features must be included in the Primary Street facade.
- This will ensure visual interest and promote variety in the built form articulation.
- At least 1 of the Elevation Features must be an articulated Entry Feature with minimum depth of 1.2m with separate roof / support(s).
- Examples of articulated Entry Features include:
 - Porticos
 - Verandahs
 - Pergolas
 - Integrated porches



PORTICO



VERANDAH

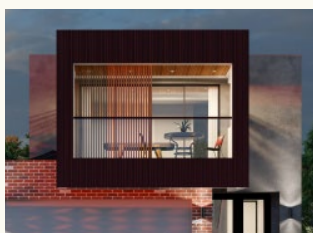


PERGOLA

INTEGRATED
PORCH

Or:

- A Balcony to an upper floor.



BALCONY

But exclude:

- Simple indented porches.

SIMPLE INDENTED
PORCH

In addition to the above, at least one Supplementary Elevation Feature must be incorporated into the Primary Street facade. This will provide visual interest and promote variety in the built form articulation. Examples include:

- Gable, Gambrel or Skillion roof
- Projecting feature wall
- Projecting Corbel or Moulding (minimum 40mm)
- Integrated Planter box
- Timber Decking to an entry feature area
- Projecting Sill.

Refer to Design Element 13 for Precinct Variations.



GABLE



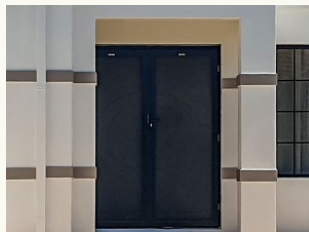
**ROOF WITH
GABLET**



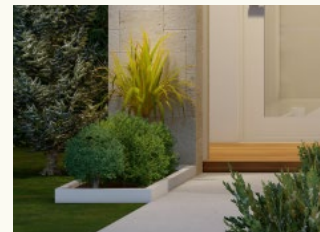
**SKILLION ROOF
(MIN 10° PITCH)**



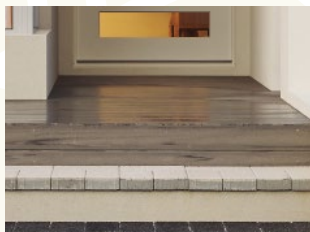
**PROJECTING
FEATURE WALL**



**CORBEL OR
MOULDING**



**INTEGRATED
PLANTER BOX**



**TIMBER DECKING
TO ENTRY**

Colours.

Overly bright or primary colours are not permitted on the Primary or Secondary Street elevation. Colours should be muted and must be submitted for approval.

Corner lots.

design
element

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The following guidelines apply:

- To promote security and provide visual interest, dwellings on Corner Lots must address all frontages. This is to be achieved through the incorporation of windows (major opening) and by extending the Primary Street elevation materials onto the Secondary Street elevation at least to a point in line with the Developer installed masonry fencing pier or, where there is no pier, a point 4.0m back from the lot boundary truncation.
- There are to be no blank walls visible from Public Areas or Streets.



EXAMPLE ADDRESSING BOTH STREETS

Housing minimum size.

design
element

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In an endeavour to obtain and maintain high standards within the sub-division, a minimum dwelling size has been imposed by the developers of Bennett Quarter. The dwelling must contain a building area of not less than 140m² (including all walls). Garages, carports, patios / outdoor living areas not included.



SKILLION ROOFS ARE REQUIRED TO HAVE A MINIMUM OF 10° PITCH WITH A MAXIMUM OF 15° PITCH.

design
element

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Roofscapes.

The following guidelines apply:

- All Traditional Hipped and Gabled Roofs are required to have a minimum 24° pitch.
- Overhanging eaves are required to a portion of the front elevation.
- Skillion Roofs are required to have a minimum pitch of 10° with a maximum pitch of 15°. In all cases Skillion Roofs must have a minimum of 300mm overhang to all sides excepting in the case of parapet walls.
- Any Flat Roofs are to be hidden from Public View (Primary / Secondary Streets or from any Public area) with Parapet walls or similar.
- Curved roofs are not permitted (minor attached roofs may be permitted).

Garages and carports.

design
element

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The following guidelines apply:

- Garages / Carports are to be constructed from materials consistent with the dwelling and be located under the main roof (this excludes laneway lots).
- The materials, design features and colours of garages / carports are to be consistent with the dwelling.
- Garages / carports must be located a minimum of 0.5m behind the front building line (measured from the front most habitable room on the Primary Street elevation and not the projection of a feature).
- Prior to occupation all garages / carports must include a door.
- A double garage / carport adequate for at least two motor vehicles side by side or end to end is required unless not permitted by The City of Swan.



MATERIALS, DESIGN FEATURES AND COLOURS OF GARAGES / CARPORTS ARE TO BE CONSISTENT WITH THE DWELLING.

design
element

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Driveways.

The following guidelines apply:

- Prior to occupation, all crossovers and driveways must be constructed and completed.
- The driveway width at the street boundary of the lot is to be no more than 6.0m wide.
- Driveways must not be constructed from plain, uncoloured concrete. Driveways should be constructed from brick or concrete pavers, stencilled or stamped concrete finishes or poured exposed aggregate.
- To facilitate reticulation, a minimum 90mm diameter pipe must be installed 300mm below the full width of any driveway approximately 600mm setback from the front boundary.
- Additional driveways / crossovers subject to shire approval, engineering and setbacks.

Refer to Design Element 13 for Precinct Variations.



DRIVEWAYS MUST NOT BE CONSTRUCTED FROM PLAIN, UNCOLOURED CONCRETE.

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element

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Developer works.

The following guidelines apply:

- Any fences, retaining walls or cross overs constructed by the Developer, including the entry statement, must not be removed, painted or altered in any way without receiving prior written consent from the Developer, which will be provided at the Developer's absolute discretion.

Retaining walls.

The following guidelines apply:

- Retaining walls visible from the street or a public space must be constructed of materials matching those provided by the Developer.

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Outbuildings.

The following guidelines apply:

- All outbuildings to be constructed behind the front or secondary building line.
- Outbuildings must be constructed of materials and colours compatible with the main dwelling.
- Street access is provided via the main driveway or provided via a secondary, separate* driveway not exceeding 3.5m in width.
- Building approval must be obtained from the Developer and the City of Swan prior to the commencement of construction.

NOTE: Driveways accessing additional garages / stores etc. must be separated from main driveway by minimum 600mm of permeable landscaping. Paved or otherwise impermeable surfaces are not permitted to this zone.

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Services.

The following guidelines apply:

- Clothes drying areas, water storage tanks, hot water systems, and air conditioners must be hidden from the Primary / Secondary Street or from public view.
- Bin storage areas concealed from street view and must be indicated on the plans.

Approval can be gained by either;

- a) Ensuring there is rear access either through the garage or around a side of the dwelling to a designated area.*
- b) Providing adequate space within the garage for both vehicles and bins.
(Typically, minimum 6.0m internal depth.)*



NOT PERMITTED - EXAMPLE WHERE NO BIN STORAGE PROVISION HAS BEEN CONSIDERED WITHIN DESIGN.

- Roof mounted services including but not limited to: television aerials, satellite dishes, water tanks, hot water services and air conditioning units must not be visible from the Primary or Secondary Street or from any public space.
- Solar panels and collectors for hot water units are the exception to this requirement and can be located on North facing Secondary Streets where performance would otherwise be adversely affected.

Fencing.

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element

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The following guidelines apply:

- Though not mandatory, front fencing should not exceed 0.95m in height and must be a minimum of 50% visually permeable. Materials and colours must be compatible with the front dwelling elevation.
- For lots 401, 408, 413, 425, 426, 449, 452, 455, 464, 465, 470, 471, 475, 485, and 486 (corner lots) semi permeable fencing on the Secondary Street boundary is mandatory. The fencing will be powder coated slat fencing similar to the example shown below.



EXAMPLE OF POWDER COATED SLAT FENCING

- All other boundary (side and rear) fencing will have a maximum height of 1.8m and be constructed of 'Colorbond' in the Shale Grey colour.
- All side boundary fencing must not extend forward of the building frontage setback line.
- Return fencing must be setback a minimum length of 1.5m from the front corner of a dwelling. Materials and colours must be compatible with the front dwelling elevation. Installation of the return fence is the responsibility of the lot owner.
- Certain lots adjoin uniform or feature fencing provided by the Developer.
- Feature fencing is not to be modified, replaced, removed or damaged in any way.
- In all cases, fencing prescribed in any Local Development & Regulating Plans takes precedence over the Estate Design Guidelines.

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element

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Storage of vehicles, boats, trailers, caravans and the like.

The following guidelines apply to the storage of vehicles, boats, trailers, caravans and similar.

- Shall be located behind fence lines, and / or otherwise concealed from public view.
- Shall be located behind the main building line.

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element

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Quiet House design.

Some lots in Bennett Quarter are subject to Quiet House requirements owing to the proximity of potential noise generated from traffic on Marshall Road. Affected lots are shown on the Local Development Plan and are subject to additional building requirements.

These requirements are classified as Package A or Package B and are described more fully in the Transportation Noise Assessment Report dated 21st June 2021 prepared by Lloyd George Acoustics available from bennettquarter.com.au

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BAL classification.

Bennett Quarter benefits from being in close proximity to Whiteman Park and associated bushland. This does mean however that some lots are subject to additional building requirements to provide additional protection in the event of a bushfire.

Lots may have no BAL classification or be classified 12.5, 19 or 29.

More information can be found in the Bushfire Management Plan available at bennettquarter.com.au

Developer Building Design Checklist



This checklist must be completed and accompany all house plans submitted to the developer's representative, Whalan Consulting, for assessment against Design Guidelines & Restrictive Covenants.

Complete the checklist below (a copy of which can also be downloaded from bennettquarter.com.au) and email with A3 digital copies of the proposed site, floor and elevation plans for assessment to planassessment@whalans.com.au

LOT NO. & STREET NAME:

CLIENT SURNAME(S):

CLIENT PHONE:

BUILDING COMPANY:

BUILDER CONTACT:

BUILDER EMAIL:

BUILDER PHONE:

BUILDER POSTAL ADDRESS:

LOT DENSITY CODING: RMD-R30 and RMD-R40

Minimum Street Setbacks: 2.0m to dwelling
1.5m to porch
1.0m to secondary street

MINIMUM BUILDING SIZE: Does the building have a minimum living area of 140m² excluding porch and undercover outdoor living areas?
 Yes No

OUTDOOR LIVING AREA (OLA):

- An area of 10% of the lot size or 20m², whichever is greater.
- Directly accessible from a habitable room of the dwelling.
- Located behind the street setback area.
- At least 70% of OLA is uncovered.
- OLA has a minimum 3.0m length or width dimension.

GARAGE:

- Setback not less than 4.5m from the front boundary or not less than 4.0m where a footpath is present to the back of kerb.
- Setback not less than 0.5m from the rear boundary (*applies only to lots 408-413 and subject to sufficient clearance from incoming service connections*).
- Setback not less than 0.5m from the rear boundary.
- Takes up less than 50% of the home frontage and is integrated with the main residence – i.e. located under the main roof.
- Has a minimum setback of 0.5m behind the main building line.
- Construction materials consistent with main dwelling.

CORNER LOT:

- Mandatory habitable room is overlooking secondary street Not Applicable
- Secondary street fencing is articulated and visually permeable.

QUIET HOUSE: Is the house subject to Quiet House requirements as defined in the Local Development Plan?
 Yes No

BAL RATING:

- 12.5 19 29 Not Applicable
-

MATERIALS & ARCHITECTURAL ELEMENTS:

- Primary street facing elevation has feature façade material (minimum 15% of front façade) in addition to standard face brick or rendered walls. Acceptable materials include: Stone, Ceramic Tiling, Metal Cladding, Timber Cladding or Weatherboard.
- Primary street elevation has at least one window facing the street at least 12c high and 1.2m wide.
- Primary street facing elevation has two or more of the following features. At least one feature must be an articulated Entry Feature:
- | | |
|--|--|
| <input type="checkbox"/> Gable or roof gablet | <input type="checkbox"/> Projecting sill course or masonry corbels |
| <input type="checkbox"/> Bay window | <input type="checkbox"/> Veranda (minimum 1500mm deep) |
| <input type="checkbox"/> Portico (minimum 1500mm wide) | <input type="checkbox"/> Other features - |
| <input type="checkbox"/> Blade wall | |
| <input type="checkbox"/> Pergola | |
| <input type="checkbox"/> Integrated porch | |
-

Note - approval of 'Other Features' is at the discretion of the developer's representative.

ROOF DESIGN

- For traditional hipped or gabled roofs the rood has a minimum pitch of 24 degrees
- If the roof is a skillion roof then it incorporates a pitch between 10 degrees and 15degrees. Not Applicable
- Skillion roof has a minimum overhang of 300mm to all sides excepting in the case of parapet walls.
-

DRIVEWAY:

- Driveway is 4.0 - 6.0m in width and to be constructed from brick paving, liquid limestone or exposed aggregate concrete or similar, i.e. not plain uncoloured concrete.
-

FRONT FENCING:

- If front fencing is proposed, it is not greater than 1.2m in height and contains visually permeable fencing between 0.75 - 1.2m in height.
- Not Applicable
-

AIR CONDITIONING UNITS:

- Ground or Wall Mounted Unit
Unit is not visible from the public domain and top of unit is not higher than 1.8m from ground level.
- Roof Mounted Unit
Unit is of similar colour to the primary roof material and is located to minimise nuisance to neighbours.
-

SOLAR HOT WATER UNITS:

- Roof-mounted hot water unit is integrated and matches the roof profile to minimise visibility from the street.
- Not Applicable
-

MISCELLANEOUS:

- Letterbox is to be located adjacent to driveway or integrated into the front fencing.
- Clothes lines are to be screened from view of streets, laneways and Public Open Space.
-

COLOURS:

- Has a schedule of colours been provided?
- Yes No
-

LOCAL DEVELOPMENT PLAN PROVISIONS:

- The Local Development Plan has been reviewed and all general and specific provisions relating to the subject lot / house have been satisfied.
-

PLEASE NOTE: This checklist does not form a complete list of all covenants relating to Bennett Quarter and should be used as a guide only. Refer to the specific restrictive covenants of the relevant lot and the estate Design Guidelines for a full list of restrictions applying to the site.

Design guideline definitions.

Balcony

An open structure accessed from an upper storey room on the front facade with a minimum depth of 1.5m

Building plans

Site plans, floor plans and elevations A3 PDF.

Corner lot

A lot with more than one interface with a street or public area, excluding any laneway.

Elevation feature

An articulated structure such as a portico, veranda, pergola, integrated porch or balcony providing visual interest to the facade of the dwelling.

Entry feature

A structure with separate roof support and a minimum of 1.2m in depth.

Feature facade material

A material other than standard face brickwork or painted / coated render.

Front building line

The face of a habitable room containing a window on either level, not the projection of a feature.

Gable

A vertical wall, triangular in form, extending to the ridge of a roof.

Roof with gambrel feature

A small gable set on a roof, independent to any wall below.

Habitable room

A living room, kitchen, bedrooms, activity rooms and study.

Local development plan

A City of Swan planning approval document with a focus on bushfire management and noise attenuation.

Lot truncation

One or more portions of a street front boundary at the intersection of two streets.

Opinion of the developer

Entirely at their discretion, the considered opinion of the Developer or their appointed agents.

Planter box

An integrated masonry raised garden bed a minimum of 1.5m in length.

Portico

A roofed entry feature with an associated room, that defines the entry point to the dwelling.

Primary street

As prescribed by any Statutory Planning document or annexure to the sales contract, any street providing the pedestrian access point to the dwelling or a street containing both the pedestrian and vehicular access.

Project vision

The required design outcome relating to the built form and landscaping.

Public area

Any street, public open space, park or the like.

Regulating plan

A document that sets out the design requirements for the coordination of built form, landscape, and engineering elements in a way that adds street appeal and protects the Community's investment in Bennett Quarter.

Return fencing

A fence connecting the side of a dwelling to either side boundary, boundary structure or boundary fence.

Secondary street

As prescribed by any Statutory Planning document, or annexure to the sales contract, a street not providing the pedestrian access point to the dwelling and not a laneway.

Skillion roof

A single pitched roof between 10°-15° with a minimum roof overhang of 300mm in all cases.

Supplementary elevation feature

An element such as a gable, gambrel, skillion roof, projecting wall, corbel, moulding, planter box or timber decking, that provides visual interest to the facade of the dwelling.

Verandah

A roofed area with a minimum width of 2.5m across the frontage.

Notes.

A series of horizontal dotted lines for writing notes, spanning the width of the page.





Bennett
Quarter

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